



Confidential Pool Inspection Report

LOCATED AT:
889 Ashland St
Ashland, VA 23005

PREPARED EXCLUSIVELY FOR:
Donald Duck

INSPECTED ON:
Thursday, November 16, 2023



Inspector: Inspector Name
North Star Environmentals
530-C Southlake Blvd
N Chesterfield, VA 23236
(855) 994-3400

Thursday, November 16, 2023
Donald Duck
889 Ashland St
Ashland, VA 23005

Dear Donald Duck,

We have enclosed the report for the pool inspection we conducted for you on Thursday, November 16, 2023 at:

889 Ashland St
Ashland, VA 23005

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

We thank you for the opportunity to be of service to you.

Sincerely,

Inspector, Inspector Name
North Star Environmentals



Pool and Spa

The pool inspection was limited to those areas which were above ground or water level. The pool and spa inspection was conducted in accordance with North Star Environmentals' Twenty-one point inspection for residential swimming pool and spa inspections. No warranty expressed or implied, is intended or offered by North Star Environmentals with regard to the pool or spa inspection.

Proper pool maintenance and water chemistry is the key to avoiding major expenses. Multiple factors can affect the chemistry over time, and it is not tested during the inspection.

Proper pool maintenance is the key to avoiding major expenses. Many homeowners enjoy taking care of the pool themselves. However, if you choose not to maintain your pool, a pool company can do everything needed to your pool throughout the season. It is recommended that you inquire with the seller about the service history of the pool.

It is recommend all repairs/maintenance to the pool and equipment be performed by a professional, competent, and qualified pool technician.

GENERAL INFORMATION

1: While we could not determine the exact age of the pool, it is clearly an older pool. Anticipate higher maintenance cost as a result of the age of the pool and it's components.

STYLE/SHELL

2: The property had a vinyl pool installed. The liner has a typical life expectancy of 5 to 10 years depending on maintenance. It is prudent to monitor the vinyl liner due to the possibility of tears or rips. Proper maintenance and water chemistry balance is needed.

3: There were wrinkles in the liner which can allow tearing. This should be repaired as needed. Recommend budgeting to replace.



4: The vinyl liner is detached in several areas.



5: The vinyl liner had some prior patching. Liners generally last about 7-12 years before requiring replacement, but can be damaged at any age. Discussing with the seller to determine need for patches, and if issues were resolved or ongoing is recommended.



BARRIER

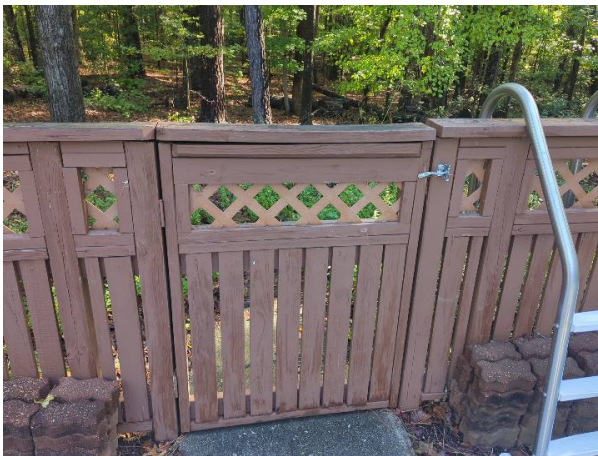
6: FYI: If the house is part of the barrier, the doors and screens leading from the house to the pool or spa area should be protected with an alarm that is audible for 30 seconds throughout the house. The alarm control must be a minimum of 54-inches high, with automatic resetting.

7: FYI: When the release mechanism of the self-latching device is less than 54-inches from the bottom of the gate, the release mechanism for the gate should be at least 3-inches below the top of the gate on the side facing the pool. Placing the release mechanism at this height helps prevent a young child from reaching over the top of a gate and releasing the latch. Note that attaching a string or cable to the latch and hanging down the outside defeats this installation.

8: FYI: Gates should open outwards from the pool and should be self-closing and self-latching. The gate should have no opening greater than ½-inch within 18-inches of the latch release mechanism. This prevents a young child from reaching through the gate and releasing the latch.

9: A door in the wall of a building that served as a part of the safety barrier had no alarm. Such doors should be equipped with an alarm that complies with modern safety standards.

10: The gates were not opening outward, self latching, or closing which should be corrected for safety.



11: The gap between the fencing and the decking near the pool pump was too large. Recommend correction for safety.



DECK

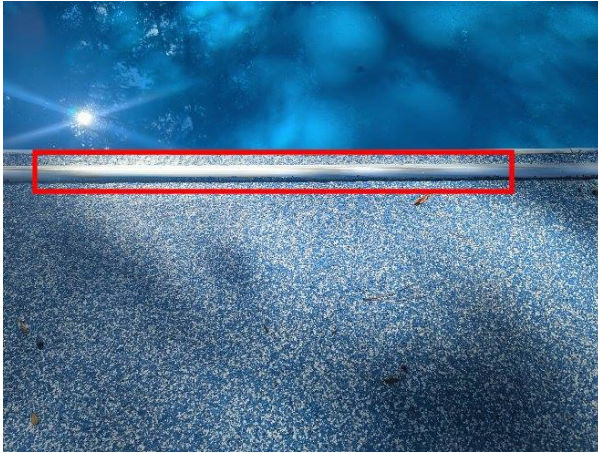
12: There was cracking observed at the pool deck. Sealing to prevent further damage during freeze/thaw cycles is recommended.



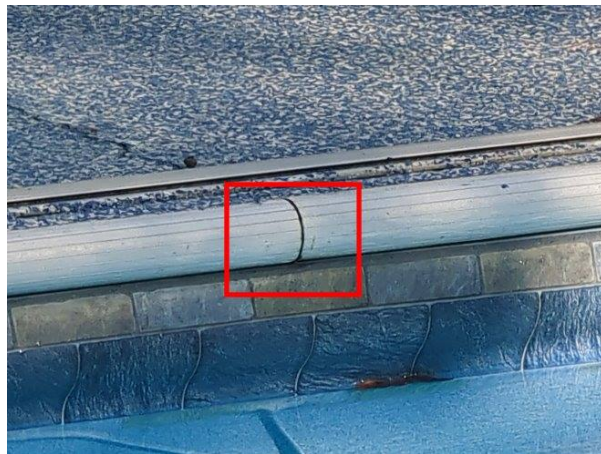
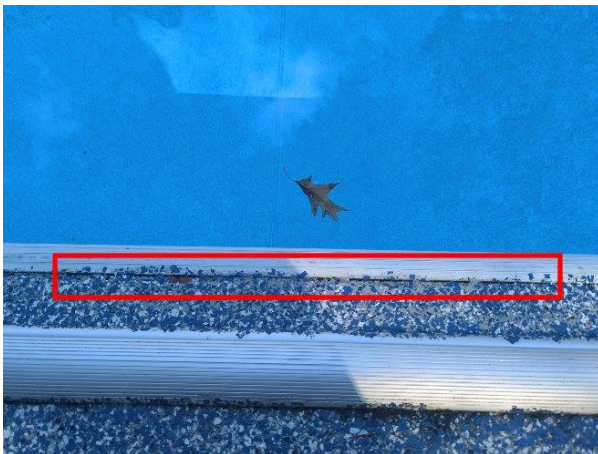
13: There was uneven decking that had created trip hazards. Location: near the shed



14: The track for the pool cover created a trip hazard around the pool. Cracked as necessary.



15: The coping around the pool had some separation from itself and from the decking. Recommend correction.



16: The coping in the deep end could not be viewed due to the pool cover.



17: There were two hoses running across the decking that would be a trip hazard. Recommend removing these for safety.



DRAIN/SKIM

18: The skimmer box and cover were inspected.



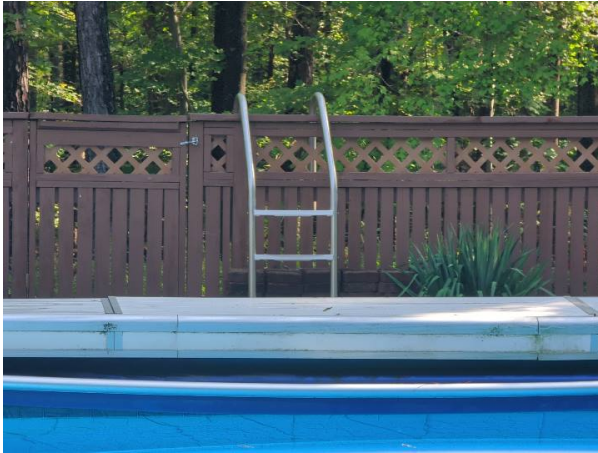
19: This pool had no main drain.

STEPS

20: Recommend installing a handrail at the steps for safety.



21: There was a ladder for the deep end but it was not installed. Could not verify its proper operation.



CLEANING EQUIPMENT

22: A pool cleaner was observed, but not in use. Asking the seller if it is functional and proper operation of the system is recommended.

FILTER

23: The pool filter was a sand filter. Ideal pressure is 10-20 psi, but each pool is a little different. As the filter becomes dirty the pressure will increase. Generally an increase in pressure of 5-10 psi indicates a need to clean the filter.

24: FYI: Pool filtering devices are not disassembled to determine the condition of any installed filter elements. Testing of any back flush mechanisms is beyond the scope of this inspection.

PUMPS

25: FYI: Pumps are responsible for circulating water and chemicals throughout the pool. Pool pumps vary in price depending on their size and efficiency. Another consideration is the level of noise emitted by the pump. Since pool pumps must run regularly to do their job properly, quieter models may be preferable.

26: Pump Manufacturer: Hayward



27: Motor: 1 HP

PIPES & VALVES

28: FYI: The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period, or testing, and is not performed during the pool inspection. Purchasers are encouraged to ask sellers about the existence of any past or present leaks in the pool, spa, or associated equipment.

29: Having pipes properly labeled is recommended.

30: The pipe going into the top of the pool pump was leaking.



31: The current homeowner stated the pipes are leaking underground at the x on the decking. The hose going into the pool near this. X is a temporary inlet. Current homeowners states this leak will be repaired.



CHLORINATOR / SALT CELL

32: There was no chlorination equipment observed. Alternative methods for chlorination will need to be used.

TIMER BOX

33: FYI: Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection.

34: Inspected

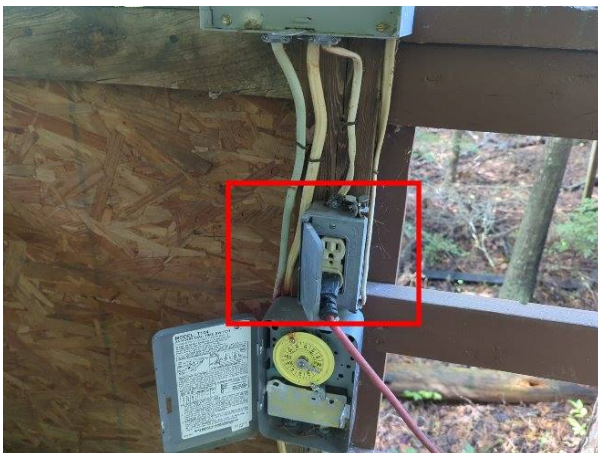


ELECTRICAL

35: The pool pump motor was not bonded as required and should be corrected.



36: There was a receptacle that was not protected by a GFCI in the pool area. Correction is recommended. Location: above the timer box.



37: There was no general purpose receptacle installed in the approved areas around the pool which can lead to the use of extension cords. A receptacle should be more than six feet, but less than 10 feet, away from the pool. Installation is recommended.

38: There was a receptacle that was too close to the pool and should be terminated or relocated for safety reasons. The receptacle cover was also separated and was in need of repair. Location: connected to pool cover housing



39: The electrical wires in the pump area were not protected. Recommend putting them into a protective conduit.



ELECTRICAL PANEL

40: All electrical panel notes or observations will be noted in the property inspection report. Please refer to the full property inspection for specific details and concerns.

41: There was a sub panel located next to the pool pump.



POOL LIGHT

42: There was no pool light installed. You should have installed to provide a safe swim environment.

HEATER

43: FYI: A pool heater can help to extend your pool enjoyment season. Heaters use a variety of energy sources including natural gas or propane, solar power and electricity. Proper maintenance of the heating system is key to extend the life of your equipment. Pilot lights on gas pool heaters are not lit during the inspection.

44: There was no heating equipment installed.

Executive Summary

This is a summary review of the inspector's findings during this inspection. However, it does not contain every detailed observation. This is provided as an additional service to our client, and is presented in the form of a listing of the items which, in the opinion of your inspector, merit further attention, investigation, or improvement. Some of these conditions are of such a nature as to require repair or modification by a skilled craftsman, technician, or specialist. Others can be easily handled by a homeowner such as yourself.

Often, following the inspector's advice will result in improved performance and/or extended life of the component(s) in question. In listing these items, your inspector is not offering any opinion as to who, among the parties to this transaction, should take responsibility for addressing any of these concerns. As with most of the facets of your transaction, we recommend consultation with your Real Estate Professional for further advice with regards to the following items:

POOL AND SPA STYLE/SHELL

s-3: There were wrinkles in the liner which can allow tearing. This should be repaired as needed. Recommend budgeting to replace.

s-4: The vinyl liner is detached in several areas.

s-5: The vinyl liner had some prior patching. Liners generally last about 7-12 years before requiring replacement, but can be damaged at any age. Discussing with the seller to determine need for patches, and if issues were resolved or ongoing is recommended.

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s-11: The gap between the fencing and the decking near the pool pump was too large. Recommend correction for safety.

POOL AND SPA DECK

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s-15: The coping around the pool had some separation from itself and from the decking. Recommend correction.

POOL AND SPA STEPS

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POOL AND SPA POOL LIGHT

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